

APPLICATION NO	PA/2022/799
APPLICANT	Mr Gareth Heggie
DEVELOPMENT	Planning permission to erect a two-storey rear extension to the dwelling and a two-storey double garage, and carry out internal alterations and associated works (including the demolition of the existing outbuildings)
LOCATION	57 Main Street, Saxby All Saints, Brigg, DN20 0PZ
PARISH	Saxby All Saints
WARD	Brigg and Wolds
CASE OFFICER	Jess Hill
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Saxby All Saints Parish Council

POLICIES

National Planning Policy Framework: Section 12 (Achieving well-designed places)

North Lincolnshire Local Plan: Policies DS1, DS5, LC12, HE2, HE3, HE5

North Lincolnshire Core Strategy: Policies CS1, CS2, CS3, CS5, CS6

Supplementary Planning Guidance: SPG1 Design Guidance for House Extensions

CONSULTATIONS

Highways: Support. Should permission be granted, advise conditions to prevent any loose material spilling onto the highway and requiring the access to be completed before the vehicle parking and turning facility is brought into use.

Drainage (Lead Local Flood Authority): No comments or objections.

Tree Officer:

This site is within the conservation area, and there are trees on the site and on adjacent properties that are offered protection because of this, including some not shown in the indicative plans right next to the drive as can be seen on aerial photos via Google Streetview taken October 2021.

An arboricultural report to BS5837:2012 should be requested to give full information on the locations, size, retention values and root protection areas around trees, and then further as to which trees would be affected, and any mitigation required to resolve any issues as well as to determine the location of development and attached services taking account of the report information gathered.

Conservation Officer:

First response (30 May 2022)

Assessment

The majority of the buildings in the conservation area are small, two-storey cottages. Some of these properties were built in the 18th century as single-storey houses, but were raised to two storeys in the 19th century.

These buildings face the highway, and are either located on the back edge of the pavement or slightly back from the street, with small front gardens enclosed by hedges. Typically, these cottages are detached brick whitewashed buildings of three bays with a central door, timber multi-paned sliding sash windows, timber boarded doors, and orange clay pantile roofs. These have prominent central chimney stacks. The colour washing, or more recent painting, of these brick buildings contributes, in part, to Saxby All Saints' particular character and appearance.

57 Main Street is one of these small cottages and as such it has been designated as a building of townscape merit in the adopted Saxby Conservation Area Appraisal.

This means it makes a positive contribution to the character of the conservation area as described above.

These small-scale properties are an intrinsic characteristic of buildings in this area and are part of the historic street scene.

57 Main Street is clearly identifiable as one of these cottages, a historic property, with its aged appearance and intimate proportions. 57 Main Street is prominent in the street scene and the extension will be visible when looking from both the north and south along Main Street.

It is also within the setting of The Lodge, listed grade II, immediately opposite. Lodge Cottage is one of the oldest surviving buildings in the village, with a timber-framed structure being encased in later brick skin. The high, steeply-pitched pantile roof with catslide dormer and tumbled brickwork gable gives The Lodge its distinctive appearance.

The proposed alterations will also impact on the setting of this listed building. Section 66 of the Planning (Listed Buildings & Conservation Areas Act) 1990 imposes a 'General duty as respects listed buildings in exercise of planning functions to special regard to the desirability of preserving the building or its setting.'

The adopted policy regarding townscape merit buildings in the Saxby All Saints Supplementary Planning Guidance states:

- North Lincolnshire Council will resist applications to demolish all or a substantial part of any building identified within this appraisal as a 'Building of Townscape Merit'. Additionally, alterations and extensions to these buildings will have to be particularly sensitively designed and take into account their historic and architectural interest.
- All existing traditional architectural features will be retained on these buildings. Alterations will need to incorporate matching designs and materials appropriate to the age and character of the building.

The proposal also needs to comply with Section 72 of the Planning (Listed Building and Conservation Areas Act) 1990 and council policy HE2 which states that 'development proposals should preserve and enhance the character of conservation areas.'

In principal there is no objection to extending the building and having a new garage but I recommend the following design changes so that it is more sympathetic to this sensitive historic location and better complies with the above policy.

I recommend that the extension is stepped in from the edge of the building as seen from the north-western elevation. This allows the original form of the cottage to be seen and interpreted. I would also recommend that the roof height is slightly lowered below the existing roofline of the cottage for similar reasons.

I would also recommend that the design of the two dormers on the south-east elevation is altered. They are quite large and not of a style seen on traditional buildings in Saxby and will stand out and draw the eye away from the street scene which includes the building of townscape merit and the grade II listed lodge. I recommend that the dormers are altered to a 'sledge style dormer' that have been put on the north-west elevation of the proposed extension. This is the same style dormer on the listed lodge opposite. They are smaller and more historically appropriate.

There is no objection to the demolition of the concrete garage as it has no historic merit. Whilst the outhouse is of an age, there is no objection to its demolition as it's below the 115m³ threshold required for planning permission regarding demolition in conservation areas.

Where there is an objection is the size of the new garage. It's a large two-storey double garage virtually the same height as the principal cottage. It will stand out as large new build and detract from the character of 57 Main Steet, a building of townscape merit, and the historic street scene which includes The Lodge, grade II listed, and another building of townscape merit immediately to the south, no. 61. I therefore recommend that this garage is reduced to a single-storey structure to mitigate the harm to the conservation area and the nearby listed building.

Regarding the windows and doors, the application states double-glazed sash windows at the front which is acceptable as is the use of Upvc windows to the rear which is in line with conservation policy in the area. I would also recommend that the windows and doors at the sides of the extension are timber as they are visible from the street. This needs to be covered by condition.

Any approval should include a condition that scale drawings of the proposed windows and doors with material specification are submitted for consideration before installation. Any approval should include an additional condition that details of the facing and roofing materials for the existing house and extension are submitted for consideration before installation. (Justification see above legislation and policy)

Recommendation

The proposal should be amended as described to comply with section 72 of the Planning (Listed Building and Conservation Areas Act) 1990 and council policy HE2, or be refused.

Second response (5 July 2022)

Further to my comments dated 30-05-07 the applicant has submitted amended plans for the extension and the attached garage.

The extension has been amended as per the advice provided. The use of traditional sledge-style dormers on the south-east elevation has been incorporated which are a more traditional design suitable for the building and the adjacent listed building which has similar dormers. These are seen from the street view and will ensure an appropriate traditional appearance as you look towards the building from the southern part of the village.

The extension has been set back from the northern edge of the building and just below the ridge height so that the original form of the cottage can be seen and interpreted as recommended.

The extension has traditional tumbling on its gable and has traditional-styled multi-pane windows, all of which will ensure it blends in with the traditional character of the village. The extension is quite large but it is of a scale of similarly approved extensions recently in the conservation area. In addition, it will not be seen in its entirety from the principal view from the southern aspect in the street as it is set to one side of the building.

Considering this and its traditional appearance there is no objection to it. What is very important is that the correct materials and detailing, i.e. windows and doors, are used on the extension, and this can be controlled by appropriate conditions.

As previously stated, there is no objection to the demolition of the concrete garage as it has no historic merit. Whilst the outhouse is of an age, there is no objection to its demolition as it's below the 115m³ threshold required for planning permission regarding demolition in conservation areas.

Regarding the proposed garage, the applicant has reduced it in height to reduce impact and submitted details and cross-sections comparing it to the recently approved garage immediately adjacent at no. 61. Whilst it is slightly larger it is set down at a lower ground level and viewed from Main Street will be at the same height to the adjacent recently approved garage and will have a similar impact. Therefore, as long as it is built using traditional bricks and pantiles and traditionally-styled timber doors it will be acceptable for this location in the conservation area.

Recommendation

There is no objection to the application subject to a series of conditions being included in the application to control materials and detailing and it is recommended that the following are included.

- That details of the facing and roofing materials for the extension and the garage are submitted for consideration before installation.
- That a scale drawing of the proposed windows and doors with material specification on the main house, 57 Main Street, the extension and the garage are submitted for consideration before installation.

- That the windows and doors on the main house frontage, 57 Main Street, and the side elevations, i.e. the north and south elevations, on the proposed extension are constructed from timber.
- That the front garage doors, i.e. west elevation, on the proposed garage are constructed from timber.

Justification: Section 72 of the Planning (Listed Building and Conservation Areas Act) 1990 and council policies HE2, CS6.

PARISH COUNCIL

First response (26 May 2022)

Objects on the following grounds:

1. The roofline on the extension is too high, i.e. above the existing roof.
2. The dormer windows are large and intrusive by overlooking the neighbouring property.
3. Concern regarding the amount of material that would be dug out for the patio and double garage. Being on a spring line makes the property vulnerable to flooding as the neighbouring property has experienced this year. This will be exacerbated by the applicants already removing trees. It is hoped that a hydrology survey has been carried out to investigate the potential issues that the spring line could cause.
4. Concern regarding the size of the garage and that the gym upstairs may be converted into a granny flat in the future.
5. The removal of significant amounts of soil could cause subsidence. As an old cottage it would have very shallow foundations.
6. The architectural plans are inconsistent – 1 window is missing from various drawings. The scale is not clear.
7. Trees have been removed without planning permission.
8. Work has commenced on the roof without planning permission.
9. Out of character for the village. The PC would be keen to hear the views of the Conservation Officer.

Second response (13 July 2022)

The parish council's previous comments still stand as valid to the amended application.

Third response (20 July 2022)

The parish council notes that there is no real/significant change to the plans initially submitted and to which we had various objections.

We also note that whilst there have been some amendments submitted subsequent to the initial application the amendments are not actually mirrored by any changes/updates in the

'Plan Notes' so that there is then some ambiguity and room for misinterpretation between what the planning proposal is now requesting and the supporting documents provided.

We would like to see a definitive Final Plan, with accompanying detail and specifications updated accordingly, of the planning proposal as it now being submitted, to ensure that everyone knows and understands what the final proposal is, thus ensuring that there is then no room for misunderstanding or misinterpretation of what might finally be approved.

As a parish council we would also like to understand how the NLC Conservation opinion has changed, with regards design, size, proposed materials and landscape merit, when there appears to have been virtually no change in any of these areas between the initial application and that now being proposed.

Our objections to the application remain as before, and additionally above.

PUBLICITY

A site notice has been displayed. Sixteen comments have been received from members of the public objecting to the proposals (six respondents having commented more than once). Concerns raised relate to the following:

- Issues of overlooking and privacy loss (windows on the side elevations and rear elevation of the garage)
- The proposed garage and extension would be out of keeping with the design and character of the existing dwelling.
- Concerns that the garage would result in noise as it features a gym (as a result of loud music)
- Concerns regarding the retaining wall next to the gym
- Concerns relating to root damage of the conifer hedge
- Concerns that the garage design is not in keeping with the character of the conservation area
- Concerns with the increased roof size and the fact that all water is going into land drains, which increases the risk of flooding on the road
- Concerns relating to works that have already taken place (roof alterations, demolition, soil moving).

ASSESSMENT

Site location and context

The site comprises a detached dwelling located to the east of Main Street within the middle of Saxby All Saints. The dwelling is within the development limits of Saxby as identified by the Housing and Employment Land Allocations DPD 2016.

Planning history

No previous planning applications have been submitted on the site.

Designations/constraints

Within the development limits of Saxby All Saints.

The site is within a conservation area and the site is opposite the grade II listed Lodge Cottage.

There are no Tree Protection Orders on or next to the site.

The site is located within SFRA Flood Zone 1.

Proposal

Permission is sought to erect a two-storey rear extension to the dwelling and a two-storey detached double garage to the rear. The existing outbuildings are proposed to be demolished and internal alterations are necessary to facilitate the proposal.

The main considerations of relevance in the assessment of this application include:

- **the principle of development**
- **design and appearance (including heritage impact)**
- **residential amenity**
- **trees.**

Principle of development

Householder extensions and alterations are acceptable in principle subject to there being no harm to the character and appearance of the property through unsympathetic design or harm to the amenity of neighbouring properties and residential areas. The site is within the development boundary of Saxby All Saints, within a conservation area and near to listed buildings on Main Street.

Design and appearance (including heritage impact)

Policies DS5 (Residential Extensions) and CS5 (Delivering Quality Design in North Lincolnshire) are concerned with visual amenity. Policy DS5 states that proposals should be sympathetic in design, scale and materials.

The site is within a conservation area and opposite the grade II listed Lodge Cottage.

Policy CS6 (Historic Environment) sets out that the council will seek to protect, conserve and enhance North Lincolnshire's historic environment, including the character and setting of conservation areas and listed buildings.

Policy HE2 (Development in Conservation Areas) sets out that proposals within conservation areas should preserve or enhance the character and appearance of the area and its setting.

Policy HE5 (Development Affecting Listed Buildings) sets out that proposals that would damage the setting of a listed building will be resisted.

Permission is sought to erect a two-storey rear extension to the dwelling and a two-storey detached double garage to the rear.

The proposals have been amended to incorporate advice received from the council's Conservation Officer. It is considered, as a result of these amendments, that the design is acceptable as set out below.

The two-storey extension measures 8.6m in length by 6.4m in width to create an L-shaped layout for the dwelling. The extension has been set back from the northern edge of the building and just below the ridge height so that the original form of the cottage can be seen and interpreted, as per the advice of the Conservation Officer. The scale of the extension is considered to be appropriate in terms of responding to the existing dwelling. As it is a rear extension, it will not be seen in its entirety from the principal view from the southern aspect in the street as it is set to one side of the building.

The extension incorporates a traditional appearance that responds to the context of the conservation area. Sledge-style dormers are included on the south-east elevation which are a more traditional design suitable for the building and the adjacent listed building which has similar dormers. These are seen from the street view and will ensure an appropriate traditional appearance as you look towards the building from the southern part of the village.

The extension has traditional tumbling on its gable and has traditional-styled multi-pane windows, all of which will ensure it blends in with the traditional character of the village.

The proposed detached two-storey garage to the rear of the dwelling has been reduced slightly in height to reduce its impact on the street scene. The garage will sit it on lower levels than the adjacent site to the south (no. 61), meaning that when viewed from Main Street it will be at the same height as the adjacent recently approved garage at no. 61 and will have a similar impact. The garage at no. 61 has not yet been built but has been approved at a similar height to the garage under the current proposals. The two-storey garage is large, however it is considered to be appropriate in terms of its impact on the street scene, and as set out in the following section is not expected to result in overshadowing of the adjacent property. A condition is recommended to ensure appropriate materials are secured including traditional bricks and pantiles and traditionally-styled timber doors. The proposed garage is therefore considered to be acceptable in this instance.

A suitable material palette is proposed which responds to the existing material palette and surrounding context of the conservation area. As per the Conservation Officer's second consultation response, conditions requiring further details relating to materials, windows and doors are recommended to ensure the proposals respond to the conservation area appropriately.

The proposed extension and garage is therefore considered to accord with policies HE2 and HE5 as the design responds to the context of the conservation area and the setting of the opposite grade II listed cottage.

Another aspect of the proposals includes the demolition of a concrete garage and outhouse. Policy HE3 (Demolition in Conservation Areas) sets out the criteria against which

proposals for the demolition of buildings or structures within a conservation area will be assessed, including:

- (a) it is proved to be wholly beyond viable repair; or
- (b) it is incapable of reasonable beneficial use; or
- (c) it is not of intrinsic architectural, historic or townscape importance and its removal or replacement would enhance the appearance or character of the area; or
- (d) its removal would allow the redevelopment or rehabilitation of an adjacent larger site which is under used, neglected or derelict, providing this redevelopment would enhance the character and appearance of the conservation area;
- (e) sufficient information is provided to enable the impact of the proposal for demolition or redevelopment on the conservation area to be assessed.

The demolition of the concrete garage is acceptable given it has no historic merit, as is the demolition of the outhouse given its small size (it is below the 115m³ threshold required for planning permission regarding demolition in conservation areas). The proposed demolition is therefore considered to accord with policy HE3.

The proposed layout and materials are considered appropriate and the proposal is therefore in accordance with policies HE2, HE3, HE5 and DS5 of the local plan, and CS5 and CS6 of the Core Strategy.

Residential amenity

Policy DS5 (Residential Extensions) states that planning applications for residential extensions and the erection of garages, outbuildings, walls and other structures will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, overbearing impact or loss of privacy to adjacent dwellings. The proposals should also be sympathetic in design, scale and materials to the existing dwelling and its neighbours.

61 Main Street is located approximately 21m to the south-east of the dwelling (taken from the nearest building lines on both properties). York House is also approximately 21m to the north-east of the dwelling.

The dormer windows on the first floor of the side elevations are considered to be suitably positioned and of a suitable scale so as not to result in an unacceptable degree of overlooking. There is still a separation distance of approximately 13m between the end of the proposed extension and the frontage of York House which features a bay window.

Although the detached garage is proposed next to an approved, though as yet unbuilt, garage at neighbouring 61 Main Street, this is not considered to result in overlooking given no windows are proposed in the side elevation. A large window is proposed in the rear of the garage, however this faces onto the rear garden and is angled away slightly from 61 Main Street. This is consistent with the approach taken for the extension that was approved at 61 Main Street which also featured a large window in the rear elevation and a rear balcony. The balcony on the rear elevation of the garage has also been removed to reduce the potential for overlooking. Whether the approved garage on the adjacent plot is built or

not, the proposals are not considered to result in an acceptable impact in terms of overlooking.

There are also considered to be suitable separation distances between the proposed extension and the detached garage and the main residential dwellings around the site.

The proposal would not carry any unacceptable overbearing, overlooking or overshadowing impacts that would be detrimental to the residential amenity rights of adjoining neighbours. The proposal therefore accords with policy DS5 and SPG1.

Trees

The site is within a conservation area within which trees are afforded protection. An Arboricultural Report has been submitted in response to the tree officer's request for a survey to establish the quality of the trees on the site and any necessary mitigation as a result of the proposals.

The main works that were considered to have a potential impact on trees included the re-surfacing of the driveway.

The report identifies that there is a tree along the site's eastern boundary (adjoining no. 61) identified as T1 within the report which is considered to be of moderate quality. There is another tree identified as T2 further to the north on the plot of no. 61 and Tree T3 located to the west of the site. Root protection areas have been identified and it is concluded that the works would have an inconsequential impact on the trees. The findings are accepted and the proposals are therefore considered to accord with policy LC12 (Protection of Trees, Woodland and Hedgerows).

Conclusion

The proposed two-storey rear extension and detached garage are considered to be suitable and in keeping with the character of the street scene.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with Section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan (RD: 5155 / 04 Rev B)

Proposed General Arrangement (RD: 5155/02 Rev H).

Reason

For the avoidance of doubt and in the interest of proper planning.

3.

Prior to the installation of new external windows and doors on the main house (57 Main Street), the extension and the garage, scaled drawings, including material specifications, shall be submitted to and approved in writing by the local planning authority. Development shall proceed in accordance with the approved drawings.

Reason

To ensure the development does not detract from the setting of the listed building in accordance with policies HE5 of the North Lincolnshire Local Plan and CS6 of North Lincolnshire's Core Strategy.

4.

Prior to the commencement of works above ground, details of the facing and roofing materials for the extension and garage shall be submitted to and approved in writing by the local planning authority.

Reason

To ensure that the development does not detract from the setting of the listed building in accordance with policies HE5 of the North Lincolnshire Local Plan and CS6 of North Lincolnshire's Core Strategy.

5.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken to the satisfaction of the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

6.

The proposed new vehicle parking and turning facility shall not be brought into use until the vehicular access serving it has been completed within highway limits.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

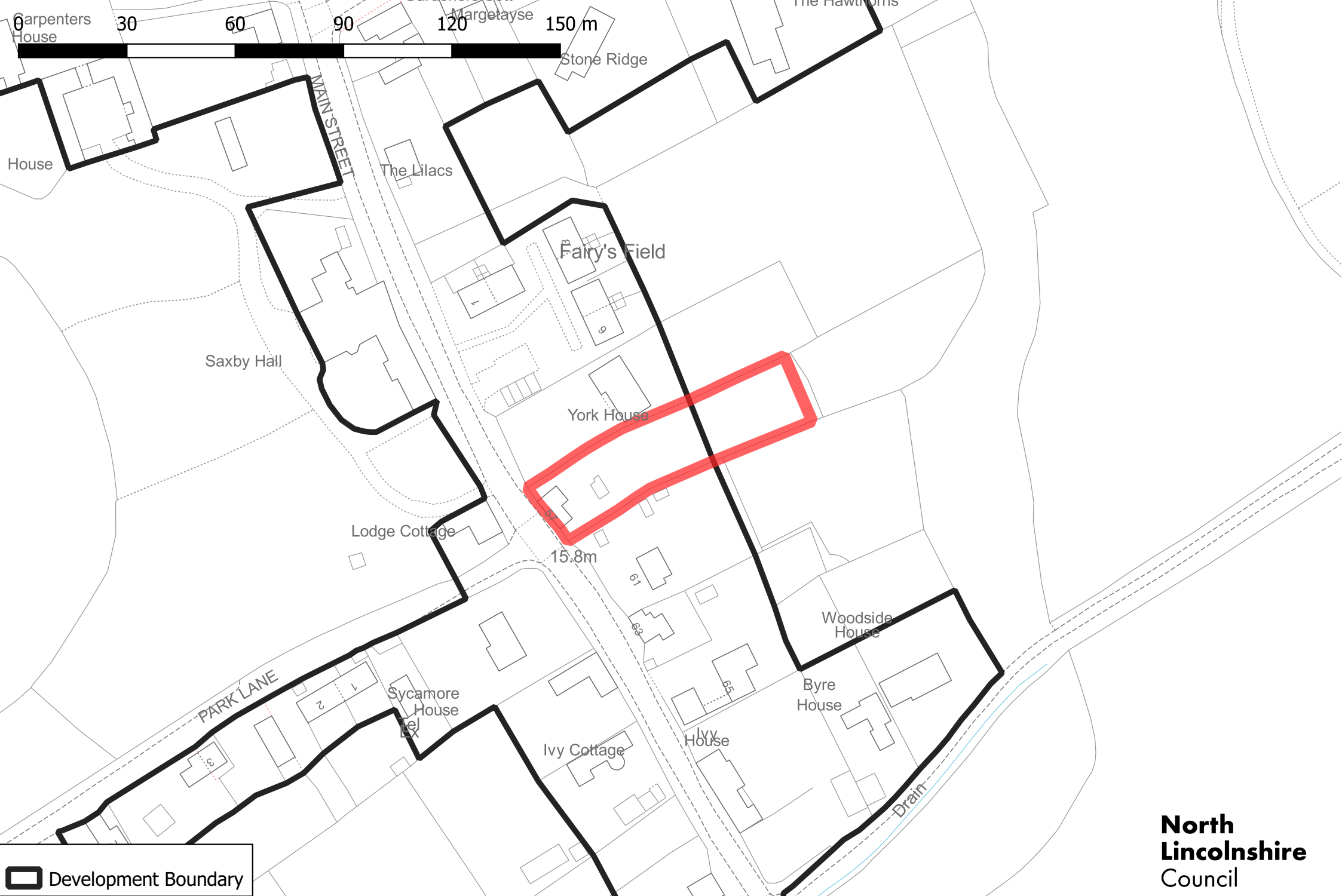
Informative 1

The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;
- before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

Informative 2

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



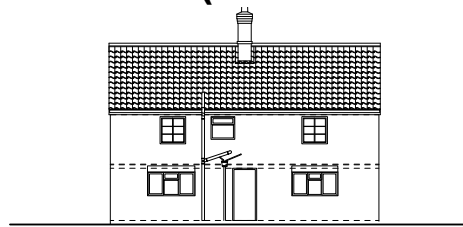
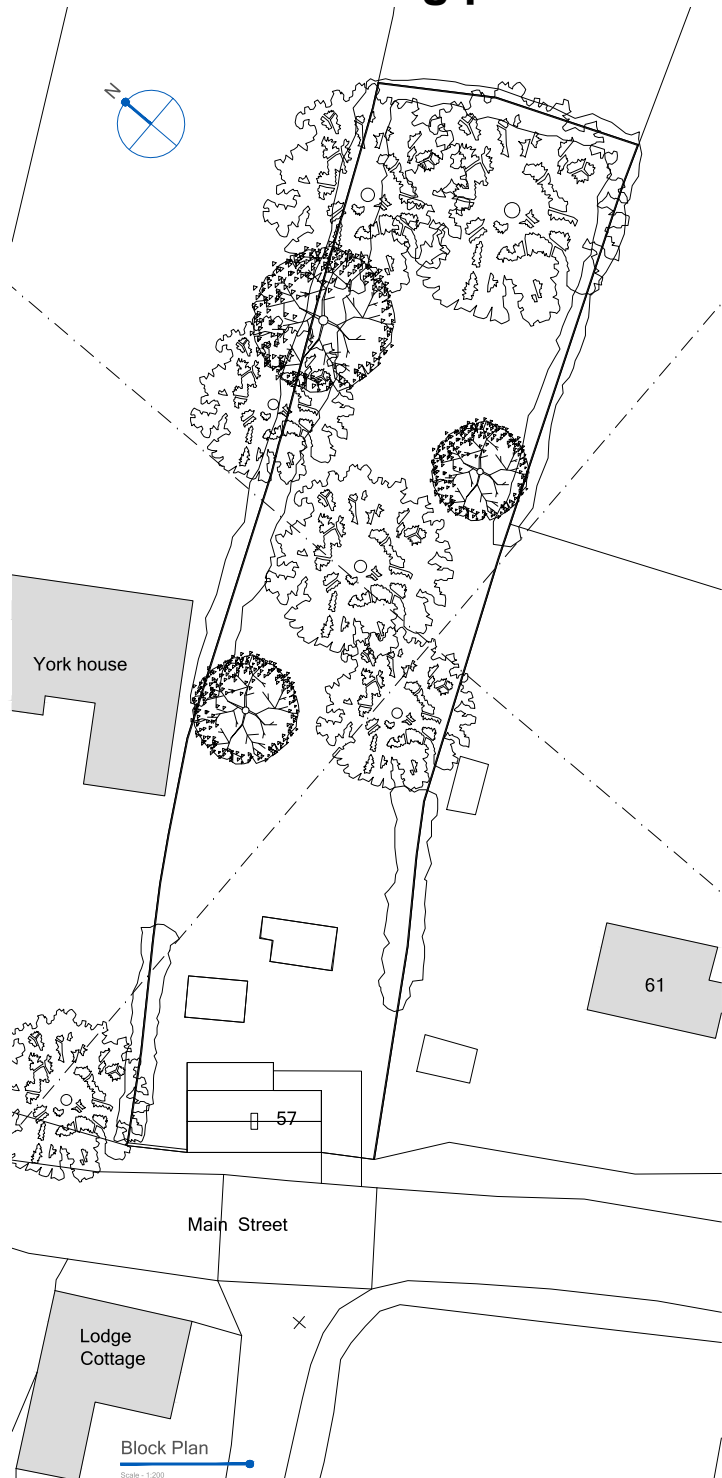
 Development Boundary

**North
Lincolnshire
Council**

PA/2022/799

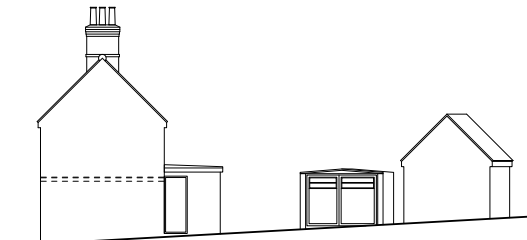
© Crown copyright and database rights 2021. Ordnance Survey 0100023560

PA/2022/799 Existing plans and elevations (not to scale)



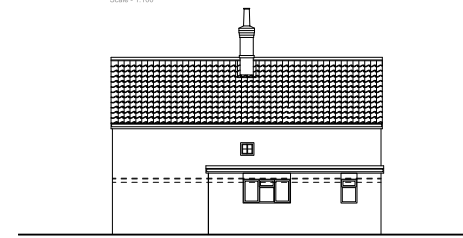
Front (S.W.) Elevation

Scale - 1:100



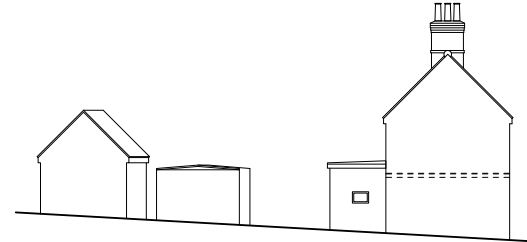
Side (S.E.) Elevation

Scale - 1:100



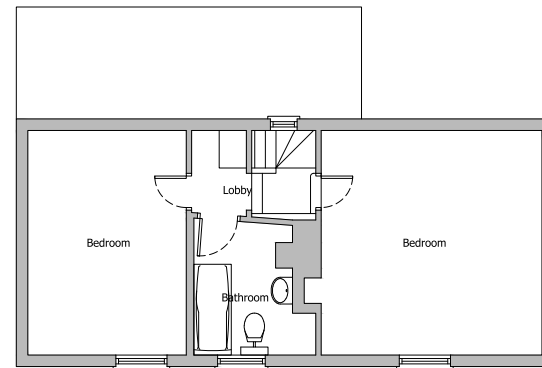
Rear (N.E.) Elevation

Scale - 1:100



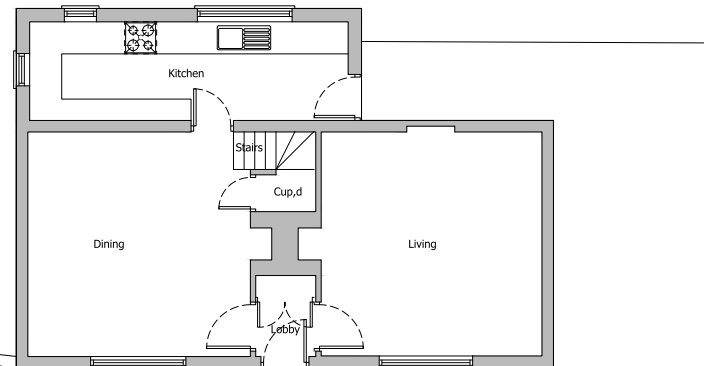
Side (N.W.) Elevation

Scale - 1:100



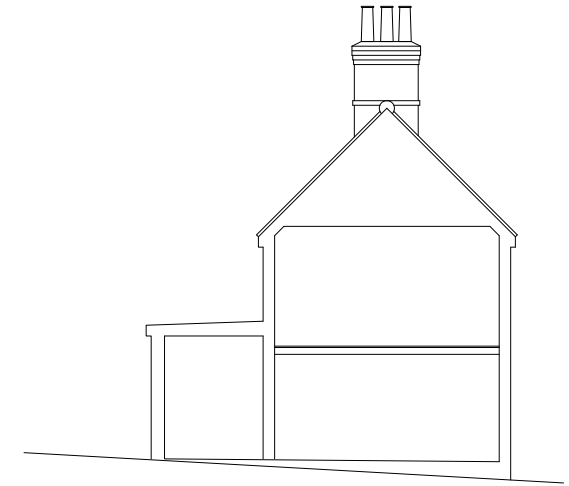
First Floor Plan

Scale - 1:50



Ground Floor Plan

Scale - 1:50



Typical Section

Scale - 1:50

Scale Bar
0m 5m 10m 15m

Notes

- Drawing copyright of Ross Davy Associates
- Used subject to the terms of the contract.
- All material quantities are for guidance only and do not constitute an offer or a guarantee of any kind.
- Should the project fall under the scope of the Equality Act, Part 20 of the CDM Regulations, it is the Employer's responsibility to ensure compliance.
- Changes to the design should be made in consultation with the Employer.
- For further information, please contact Ross Davy Associates.

These drawings are to be used as a guide only and do not constitute an offer or a guarantee of any kind. Technical approval has been obtained from the relevant Local Development Corporation. Commencement of work on the site is the responsibility of the Employer/Contractor. All other drawings are the responsibility of the Employer/Contractor.

Revisions and Updates

Where necessary, the construction and/or details during the survey, it is the Contractor's responsibility to identify structural elements and to ensure they are correctly detailed and to ensure that the relevant Local Development Corporation is notified of any such changes.

Drawing Revisions

A 25.04.22 Updated for Planning Application

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FOR APPROVAL

Project Proposed Extension and Alterations
57 Main Street, Saxby All Saints,
For Mr and Mrs Heggie

Drawing Title EXISTING GENERAL ARRANGEMENT

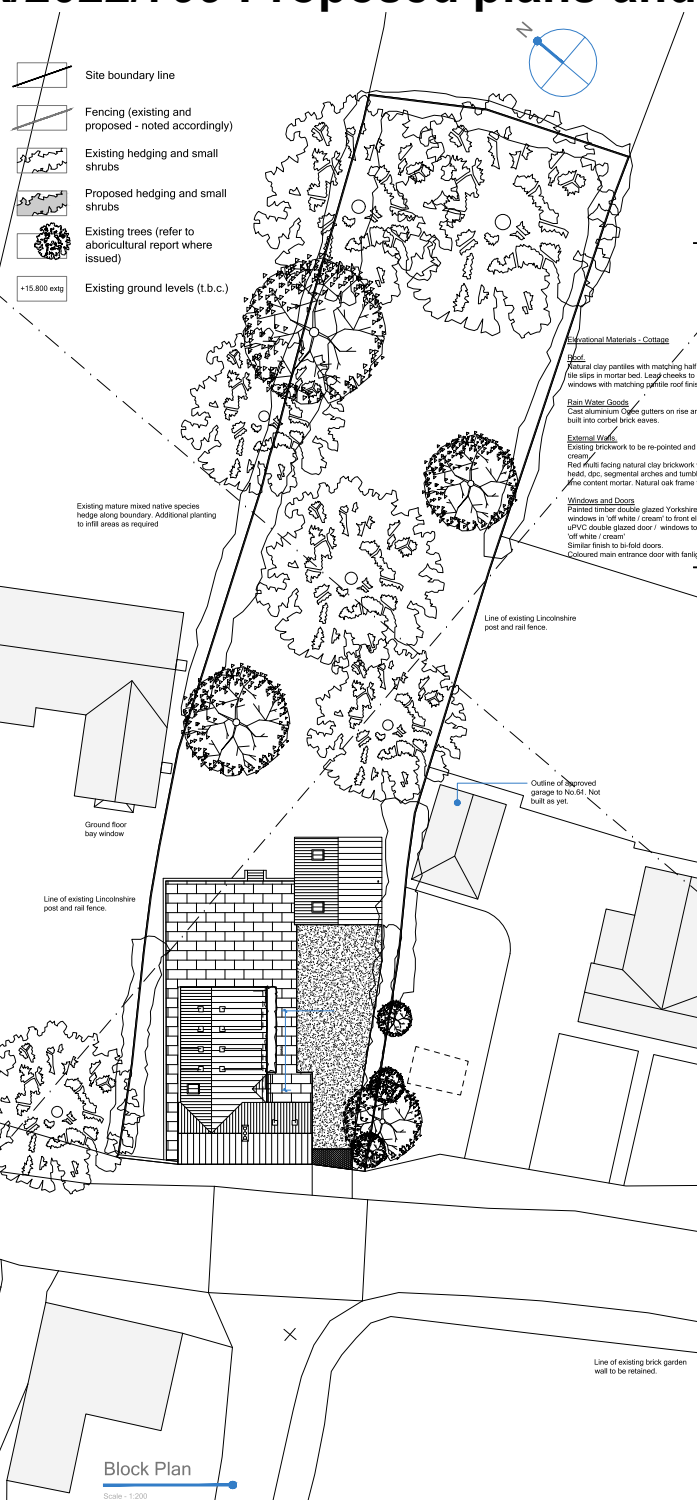
Drawn APS **Scale** As Shown

Date 22.03.22 **Size** A1

Drawing No. RD:5155 / 01

PA/2022/799 Proposed plans and elevations (not to scale)

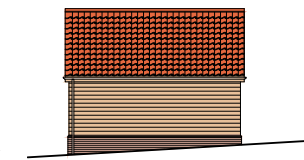
- Site boundary line
- Fencing (existing and proposed - noted accordingly)
- Existing hedging and small shrubs
- Proposed hedging and small shrubs
- Existing trees (refer to arboricultural report where issued)
- Existing ground levels (t.b.c.)



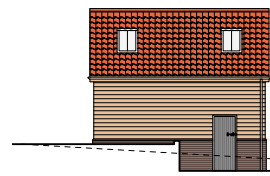
Front (S.W.) Elevation
Scale - 1:100



Side (S.E.) Elevation
Scale - 1:100



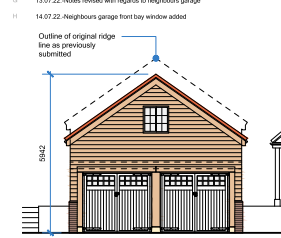
Rear (N.E.) Elevation
Scale - 1:100



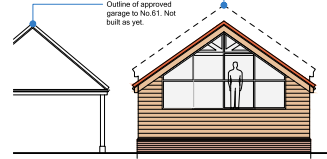
Side (N.W.) Elevation
Scale - 1:100



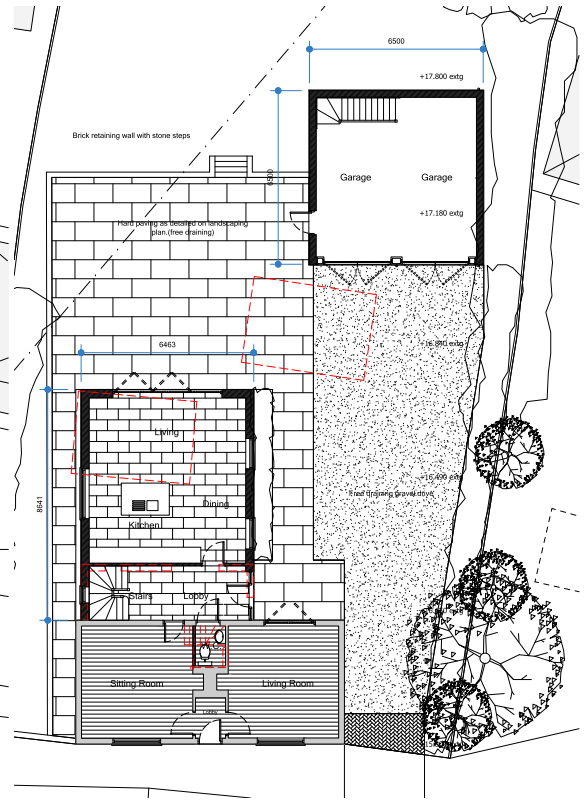
Side (N.W.) Elevation
Scale - 1:100



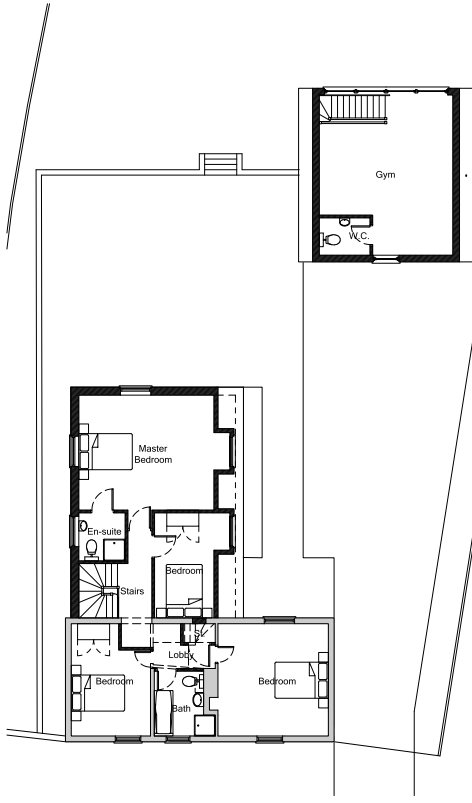
Front (S.W.) Elevation
Scale - 1:100



Rear (N.E.) Elevation
Scale - 1:100



Ground Floor Plan
Scale - 1:100



First Floor Plan
Scale - 1:100

Block Plan
Scale - 1:200

Scale Bar

0m 5m 10m 15m 20m

Notes

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3. The Client is responsible for the accuracy of the information provided to Ross Davy Associates.

4. Ross Davy Associates is not responsible for the accuracy of the information provided to Ross Davy Associates.

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10. Ross Davy Associates is not responsible for the accuracy of the information provided to Ross Davy Associates.

- Drawing Revisions**
- 12.04.22-Revised following client comments
 - 25.04.22-Revised for Planning Application
 - 30.05.22-First floor bedroom window added on plan
 - 31.05.22-Revised in line with Local Authorities Conservation Officers comments
 - 08.08.22-Height of proposed garage ridge indicated
 - 12.07.22-Rear staircase and balcony removed from garage
 - 13.07.22-Notes revised with regards to neighbours garage
 - 14.07.22-Neighbours garage front bay window added

Materials and Details

Roof: Natural clay pantries with matching half round ridge and tile slips in mortar bed. Eave boards to cat slide dormer windows with matching gullible roof finish.

Rain Water Goods: Cast aluminium Gorge gutters on rise and fall brackets built into corbel brick eaves.

External Walls: Existing brickwork to be re-pointed and painted off white / cream. New built facing natural clay brickwork with matching head, dpc, segmental arches and tumbled gable. High fire content mortar. Natural oak frame to rear porch.

Windows and Doors: Painted timber double glazed sliding sash windows in 'off white / cream' to front elevation. uPVC double glazed door / windows to rear elevation in 'off white / cream'. Slimmer finish to bi-fold doors. Coloured main entrance door with tanlight and glazing.

Materials - Garage

Roof: Natural clay pantries with matching half round ridge and tile slips in mortar bed. Oak barge and fascia boards with exposed rafter feet.

Rain Water Goods: Cast aluminium Gorge gutters on rise and fall brackets built into corbel brick eaves.

External Walls: Semi engineering smooth red facing brickwork to dpc and plinth. Matching facing brickwork up to plinth. Natural Larch boarding to face.

Windows and Doors: Painted timber double glazed sliding sash windows to front elevation in 'off white / cream'. uPVC double glazed door / window to rear elevation in 'off white / cream'.

Materials - Garage

Roof: Natural clay pantries with matching half round ridge and tile slips in mortar bed. Oak barge and fascia boards with exposed rafter feet.

Rain Water Goods: Cast aluminium Gorge gutters on rise and fall brackets built into corbel brick eaves.

External Walls: Semi engineering smooth red facing brickwork to dpc and plinth. Matching facing brickwork up to plinth. Natural Larch boarding to face.

Windows and Doors: Painted timber double glazed sliding sash windows to front elevation in 'off white / cream'. uPVC double glazed door / window to rear elevation in 'off white / cream'.

Ross Davy Associates

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FOR APPROVAL

Project: Proposed Extension and Alterations
57 Main Street, Saxby All Saints,
FOR
Mr and Mrs Heggie

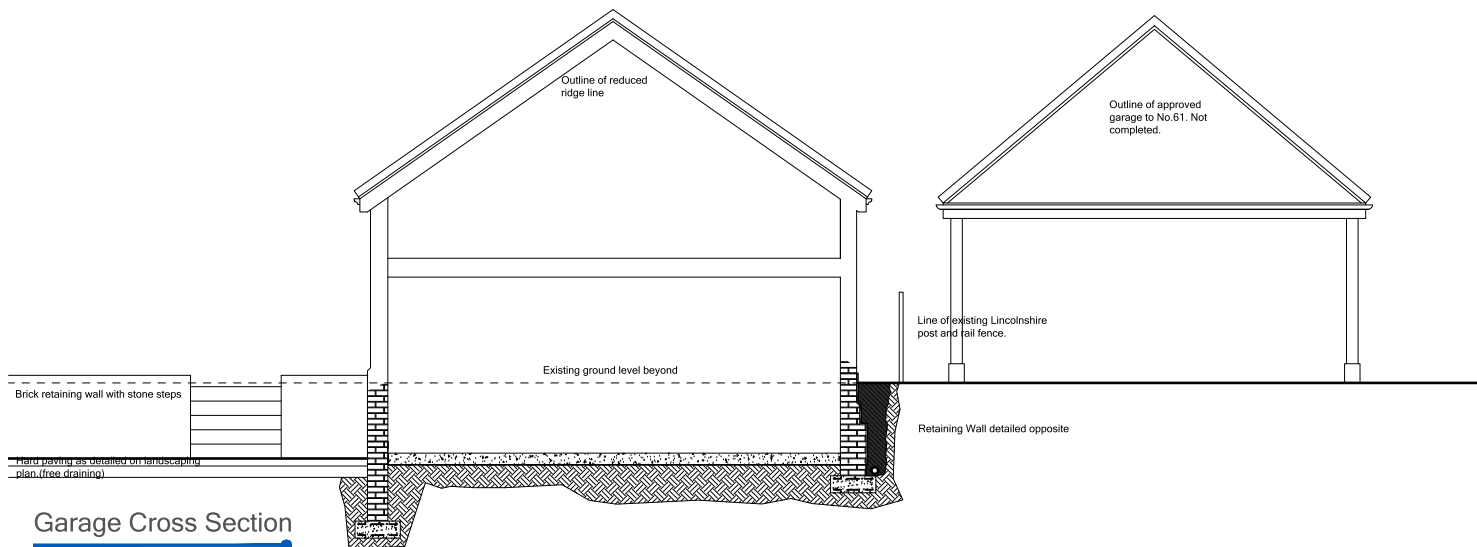
Drawing Title: PROPOSED GENERAL ARRANGEMENT

Drawn: APS Scale: As Shown

Date: 22.03.22. Size: A1

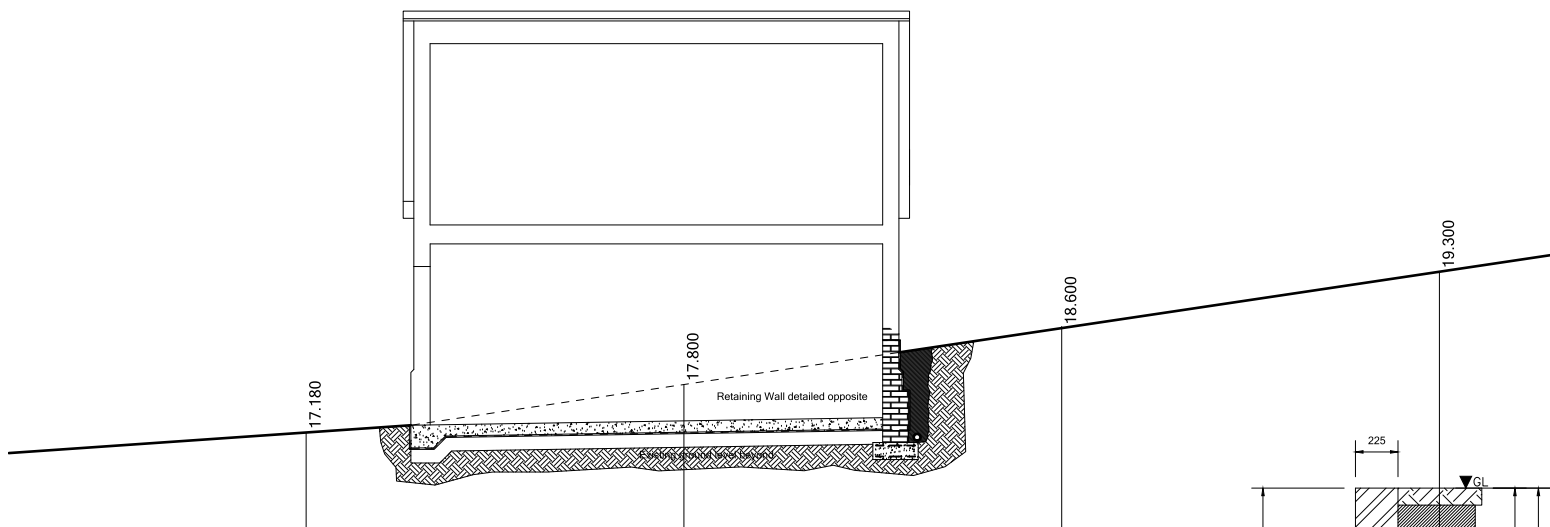
Drawing No: RD:5155 / 02 H

PA/2022/799 Proposed garage details (not to scale)



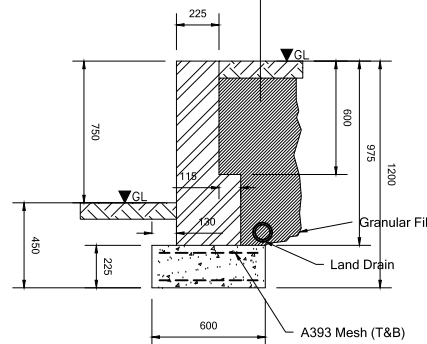
Garage Cross Section

Scale - 1:50



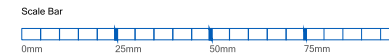
Garage Long Section

Scale - 1:50



Garden Retaining Wall Section

Scale - 1:20



Notes

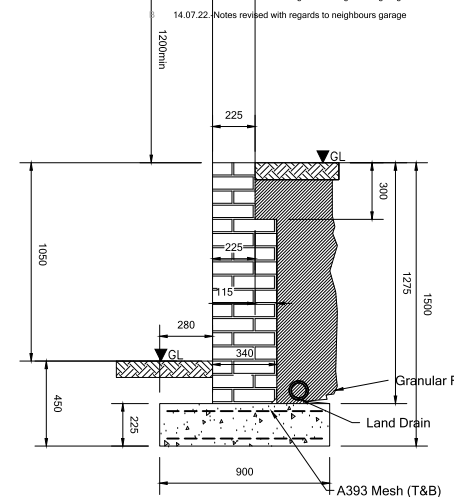
- Drawing copyright of Ross Davy Associates
- Used figured dimensions only, do not scale from this drawing
- All materials specified are to be used in strict accordance with manufacturers written instructions and current codes of practice.
- Should the project fall under the scope of the Equality Act, Party Wall Act or the CDM Regulations, it is the Employer's responsibility to ensure the following:
 - Party Wall Notices and Surveys (if required)
 - Pre-Construction Health and Safety Plan
- These drawings are to be considered as Preliminary and for information only and technical approval has been obtained from the relevant Local Authority/Approved Consultant. Commencement of work on site prior to these approvals is at the Client/Contractor's risk.
- All building works to be constructed in accordance with the current Approved Documents to the Building Regulations (England)

Inspections and Surveys

Where elements of the construction are not visible during the survey, it is the contractor's responsibility to identify structural elements such as floor joist spans and supporting structures, prior to any demolition works and inform client/ architectural consultant. Additional works may therefore be necessary. Our survey does not include any destructive investigation.

Drawing Revisions

- 13.07.22 Notes revised with regards to neighbours garage
- 14.07.22 Notes revised with regards to neighbours garage



Garage Retaining Wall Section

Scale - 1:20



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FOR APPROVAL

Project Proposed Extension and Alterations
57 Main Street, Saxby All Saints,
For
Mr and Mrs Heggie

Drawing Title Garage Details

Drawn APS **Scale** As Shown

Date 20.06.22. **Size** A2

Drawing No. RD:5155 / 05 **B**